



HERITAGE IMPACT ASSESSMENT

Almonry Close, Pershore

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EH2102-1

HERITAGE IMPACT ASSESSMENT

Almonry Close, Pershore

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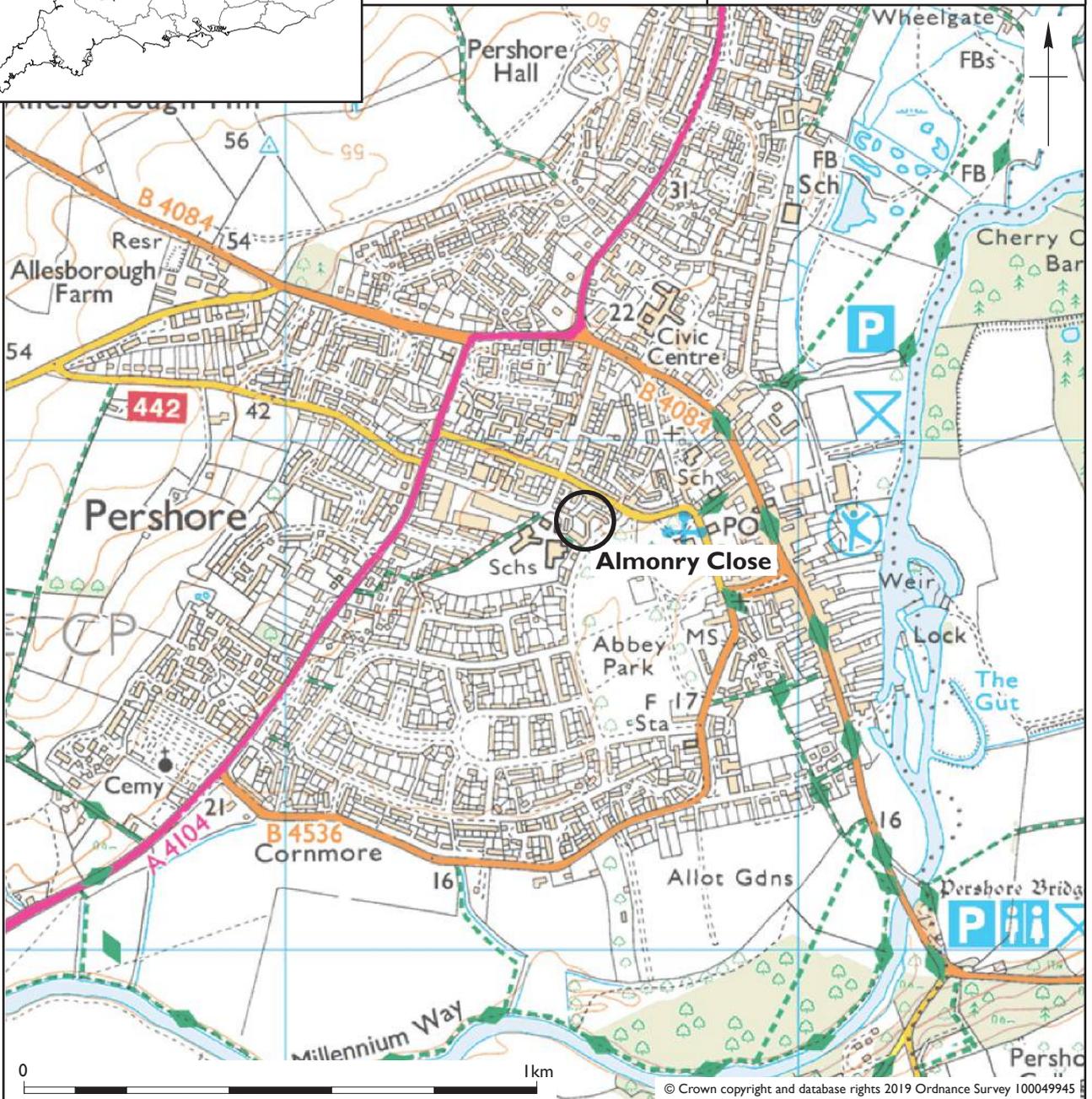
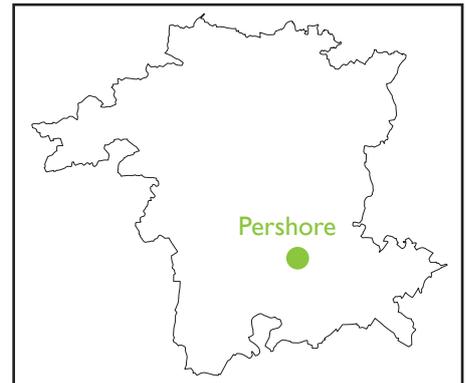
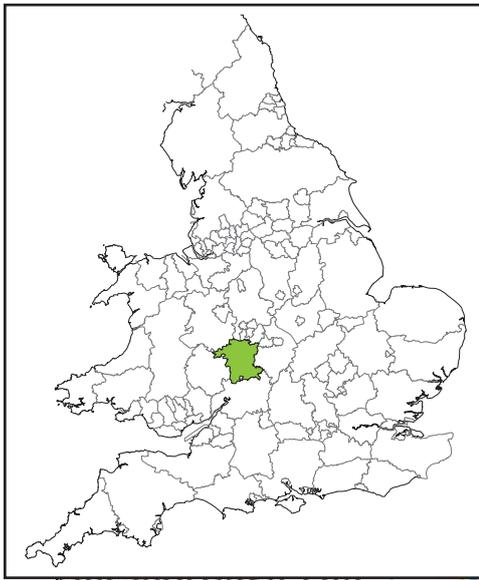


Figure 1 Location of Site

Scale at A4 - 1:12,500

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Almonry Close, Pershore
Heritage Impact Assessment



HERITAGE IMPACT ASSESSMENT

Almonry Close, Pershore

1. Reasons for this Report

This document has been produced by Elmwood Heritage, at the request of Pershore Civic Society for a Heritage Impact Assessment. The information contained in this report aims to provide historic and archaeological information relevant to the site. It will also describe the significance of any historic features within or close to the application area and the impact of the application on these historic features. Setting and fabric impacts on listed buildings and Conservation Areas may also be addressed.

The work conforms to the Chartered Institute for Archaeologists (CIfA) *Standard and guidance for historic environment desk-based assessment* (CIfA 2014) and Historic England's (HE) *The Setting of Heritage Assets* (HE 2017).

The report is also led by government guidance, the National Planning Policy Framework (NPPF 2019) and Policy SD8 of the Joint Core Strategy 2011-2031 (JCS 2017).

1.1. Location

The Heritage Impact Assessment is required for proposed works at Almonry Close, Pershore, WR10 1DF. It is located close to Pershore Abbey (Fig 1) to the west of the town centre. The site is a plot of land centred on NGR SO 94578 45852.

The site lies at a height of 22m to 24m above sea level and consists of an area around 0.63 hectares in size. It lies with an area of bedrock of 'Charmouth Mudstone Formation – Mudstone' (BGS 2021). This is a sedimentary rock formed in the Jurassic Period in an environment previously dominated by shallow seas (BGS 2021). This is overlain by superficial deposits of 'Wasperton Sand And Gravel Member – Sand And Gravel' (BGS 2021). These deposits were formed up to 3 million years ago in Quaternary Period in a local environment previously dominated by rivers. The soils are 'Freely draining slightly acid loamy soils' of 'Cambisol' classification (UKSO 2021).

The site at Almonry Close currently contains mainly sheltered housing units, although these been empty for around two years. The north western part of the site crosses into the Pershore Conservation Area (WDC 2007) and lies within an area that has been described as 'Saxon settlement area and Newlands' (WDC 2007, p16 to 18).

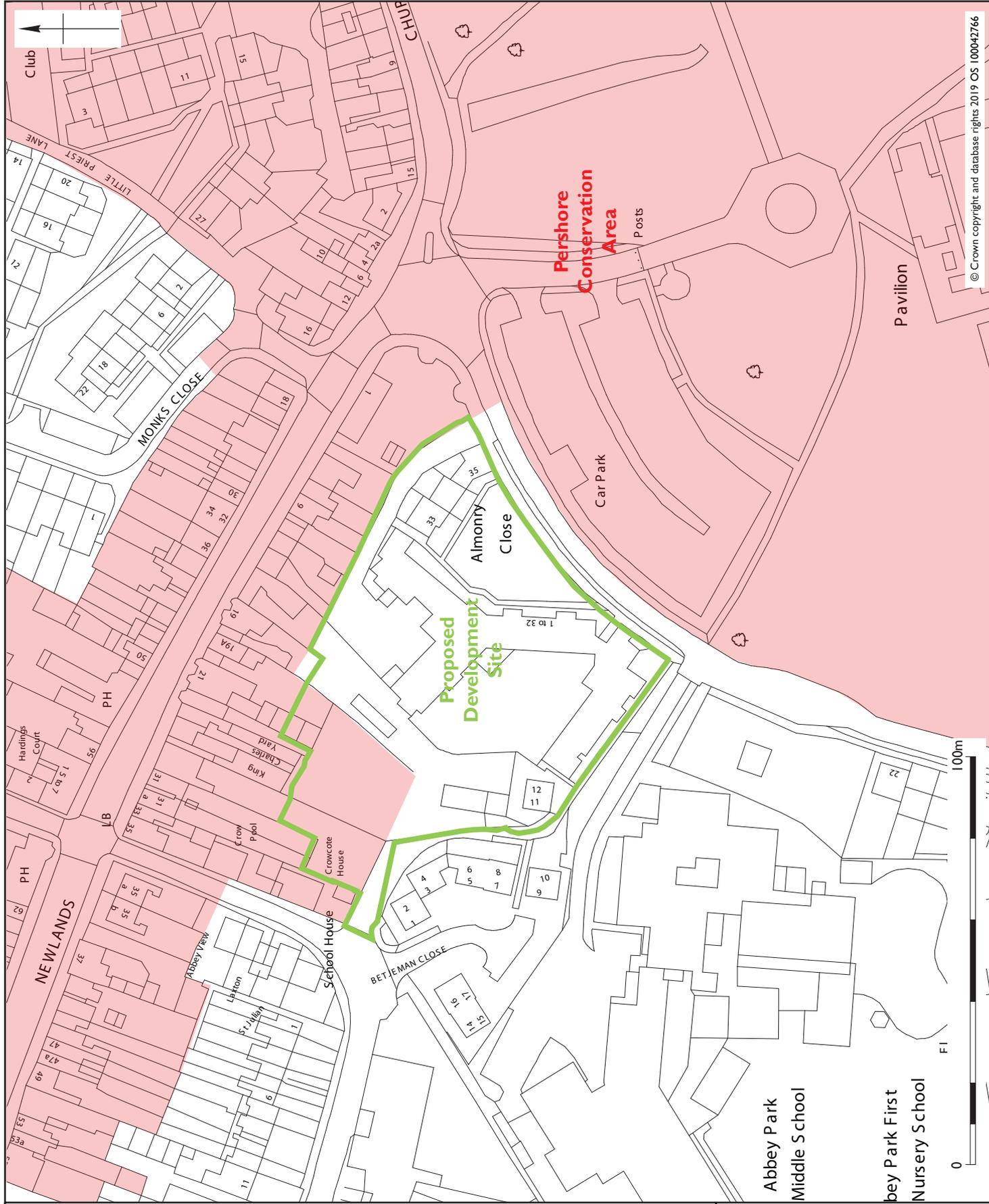
1.2. Proposals and Aims

Proposals have been submitted for '*Demolition of 1-35 Almonry Close, 11 & 12 Betjeman Close and redundant buildings on site, erection of 55 no. one and two bedroom 'later living' apartments and associated communal facilities, amenity spaces, access and car parking and new pedestrian access through the site*' (W/20/02517/FUL).

The general aims of the Heritage Impact Assessment are to:

- collect relevant information relating to heritage assets within the proposed development area
- assess the significance of the heritage assets

Figure 2
Location of Site



1:1250 at A4

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- assess the impact of the proposed development on the heritage assets
- assess the setting heritage assets

1.3. Planning History and Constraints

Apart from the current planning application (W/20/02517/FUL) there have been three main applications relating to the site at Almonry Close. The first two were made in the 1970s (77/01197 and 78/01010). The 1977 scheme for three storey buildings on the site, was refused, largely due to the scale of the buildings. The 1978 scheme was a revised proposal for one and two person flats and bungalows. The scheme was approved and the current buildings on Almonry Close were constructed. An application made in 2018 (W/18/01095/FUL) was for a similar application to the current one, although it was withdrawn prior to a decision being made.

The site at Almonry Close is bounded on three sides and partially within Pershore Conservation Area. A number of listed buildings are on the north eastern side of the site and it lies around 100m from the grade I listed Pershore Abbey, the Abbey Church of Holy Cross with St Edburgha, and the scheduled monument of the Benedictine Abbey remains.

2. Methodology

2.1. Documentary Search

Given that two earlier heritage assessments have been produced for the site (Ecus 2019 and Orion 2020), a full search of the Historic Environment Record was not carried out. A summary of the archaeological information within the vicinity of the site has been included instead. The National Heritage List for England (NHLE) has provided information on listed buildings and scheduled monuments. Published sources and historic maps were consulted online.

2.2. Site Visit

A site visit was undertaken on 5th February 2021, when the area of the site was inspected. Digital photographs and notes were taken at this time.

3. Site Information

This Historic Impact Assessment was undertaken of land at Almonry Close, Pershore, (Fig 1). Almonry Close is situated around 100m north west of Pershore Abbey (Fig 2). The site includes all of Almonry Close, part of Betjeman Close and land to the rear of 21 to 31 (odd) Newlands.

3.1. Descriptions

The proposed development site consists of an area of land covering around 0.63 hectares encompassing Almonry Close, part of Betjeman Close and portions of the back plots of 19 to 31 Newlands (see Fig 2). The current buildings of Almonry Close (Plates 1 and 2) are flats and bungalows and the building on Betjeman Close contains two flats. All of these buildings were last used as sheltered housing. Almonry Close contains 35 flats altogether in a linked series of buildings. It was designed by renowned architects Darbourne and Darke at the end of the 1970s. They had won Civic Trust awards for buildings in Pershore. There are two further buildings within the proposed development area. The first (Plate 3) lies to the north west of Almonry Close, south west of 19 Newlands. This building was originally part of a long range of structures running the length of

the back plot. The second structure (Plate 4) lies to the north of 11 and 12 Betjeman Close. The brick building appears to have a number of functions through its history.



Plate 1 South east view of Almonry Close from the south



Plate 2 South west view of Almonry Close from the south



Plate 3 Northern derelict building



Plate 4 Western derelict building



Plate 5 Almonry Close from the Newlands/Abbey Road/Church Row junction



Plate 6 Abbey Church from Abbots Road, adjacent to Almonry Close, across car park and Abbey Park

Almonry Close sits on Abbey Road to the rear of a number of buildings on Newlands. The junction of Newlands, Abbey Road and Church Row lies to its immediate east (Plate 5). The area to the south and south west of the Almonry Close buildings consists of the large open space of Abbey Park with the car park lying directly opposite. Within Abbey Park, about 100m from the site, is the grade I listed Abbey Church (Plate 6), the surviving building of the Benedictine abbey.

3.2. Historic Background

Given that two earlier heritage assessments have been carried out (Ecus 2019 and Orion 2020), there has not been a complete HER search produced for this assessment. However, a number of records have been discussed below along with the general history of Pershore.

Although there have been a small number of prehistoric and Roman finds and deposits within Pershore, there is little evidence for a settlement within the area of the town. The earliest evidence for the site at Almonry Close is for the Anglo-Saxon period. It is believed that Almonry Close fell within the bounds of the Saxon Monastery (WSM07802), The minster was founded in the late 7th century and became a Benedictine abbey around 970. A settlement (WSM16069) developed on the northern side of the precinct outside the gateway situated around the Newlands and Church Row. The settlement included a marketplace (WSM16050) between Church Row, Lower Priest Lane and Little Priest Lane and tenement plots such as those on the south side of Newlands (WSM16051). The northern part of the proposed development sits within these tenement plots.

The medieval abbey precinct (WSM11870) appears to have had the same bounds as that of the earlier precinct. Almonry Close sits within the northern edge of the precinct close to the Almonry and the abbey gatehouse (WSM16043 and WSM16054). The medieval street system (WSM16055) included Newlands, but the main settlement area had moved further east to become more concentrated on High Street and Bridge Street with the marketplace also moving to Broad Street.

Following the Dissolution in 1539, most of the abbey precinct remained open space and became the grounds of a private house by the early 19th century. Although much of the abbey was destroyed after the Dissolution, the chancel, south transept and crossing of the abbey church survives (NHLE1387027). The gatehouse also survived until the early 19th century when its ruinous remains were demolished. Portions of the abbey precinct were divided for use as tenements in the 16th and 17th centuries, including the part containing Almonry Close (WSM16067) which also included The Almonry (NHLE1104236). Until the 20th century, much of the proposed development area remained open although the northern parts were built upon as back plots to the buildings fronting Newlands.

3.3. Map Regression

The earliest maps of the area of Pershore include little detail. The earliest map that shows some detail is the 1811 plan drawn by Dawson. This was an early survey that became the first Ordnance Survey map of 1831. The 1811 map shows the Abbey Church and a building to its west, Abbey House. To the north can be seen Church Row running into Newlands and at the junction, The Almonry. The Almonry is depicted as an L-shaped structure on this plan. The proposed development area sits to the rear of The Almonry and other buildings on Newlands. It is shown as containing trees.

The 1831 Ordnance Survey map shows the same amount of detail as that of the 1811 Dawson plan, with the Abbey Church shown as an L-shaped building. There are two small structures shown on the south side of the junction of Newlands and Church Row that are not on the earlier plan. These may relate to the large Abbey House to the south. The Almonry is still shown at the end of Newlands, although it has now lost its rear wing. Much of the south side of Newlands is now built up and there appears to be structures within the western edge of the proposed development area.



1811 Dawson extract



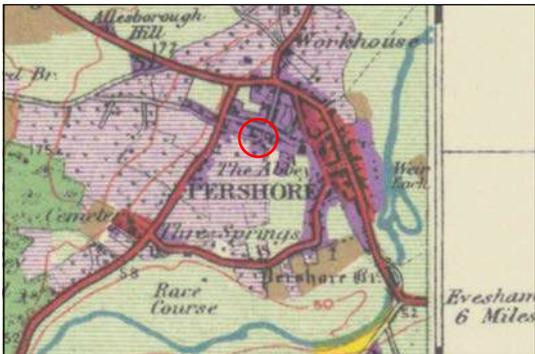
1831 Ordnance Survey extract



1884 Ordnance Survey extract



1905 Ordnance Survey extract



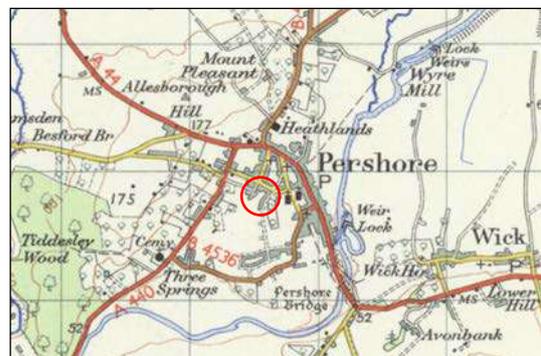
1937 Land Utilisation Survey extract



1938 Ordnance Survey extract



1952 Ordnance Survey extract



1960 Ordnance Survey extract

Figure 3 Historic mapping of the area around the site (with site marked)

The first edition Ordnance Survey of 1884 shows that much of the south side of Newlands has been built upon with plots running south from the street frontage and many containing outbuildings. The Almonry is visible close to the junction with Church Row with an area of trees to the rear. The rear plots of 19 and 25 Newlands show structures that are within the boundary of the proposed development site. The buildings to the rear of 19 Newlands are long range of adjoining structures. Walls of some of these structures were revealed in evaluation trenches within the site. A rectangular building is also shown on the edge of road at the western edge of the proposed development site.

The 1905 map shows the proposed development site mainly containing trees but also with the same structures in the rear plots that were visible on the 1884 map. The 1937 Land Utilisation Survey is at a less detailed scale and shows the Almonry Close site coloured in purple with buildings marked black. This colour signifies that the land use was '*houses with gardens sufficiently large to be productive of fruit, vegetables, flowers etc*'. The 1938 Ordnance Survey map is very similar to that of 1905 with trees still showing within the area of Almonry Close and the buildings on the back plots within the western part of the proposed development site. A more detailed scale of the 1938 map has the southern most of three buildings marked as a mortuary.

Later maps show the development of the land to the west of Abbey Park. This included the construction of Abbey Road and Abbey Park Primary School. By the 1950s new housing was being constructed along the western edge of Abbey Road including housing within the proposed development site. This housing was replaced by the existing buildings on the site in the late 1970s. Still currently surviving within the site are the building marked as a mortuary and part of the long range of buildings to the rear of 19 Newlands, both of which were visible on the 1884 map.

3.4. Archaeological Potential at Almonry Close

Almonry Close and the proposed development site sits within the bounds of both the Saxon and medieval abbey precinct and the area of the Saxon settlement. There have also been Roman and Saxon finds on Newlands and Little Priest Lane. Whilst the known maps of the area show most of the site as tree covered land, there are no early maps to show whether this was this case earlier than the 18th century. An evaluation carried out by Thames Valley Archaeological Services (TVAS 2018) uncovered remains of buildings that are shown on maps from the mid 19th century onwards. Further work may reveal earlier remains.

Comparison between modern and 19th century maps shows that two buildings that are shown on the 1884 Ordnance Survey, still exist within the site. These are the building marked as the mortuary on 1930s mapping and one of the long range of buildings on the rear plot of 19 Newlands. These structures are earlier than the 1884 map and may relate industries carried out on Newlands. Late 19th century trade directories (Kelly 1888) records nine different trades on Newlands with the most popular being market gardener. The buildings may contain evidence in the fabric, or fixtures and fittings, of their original function and of any other later uses.

4. Proposals

The current buildings on Almonry Close and Betjeman Close are proposed to be replaced with '55 one and two bedroom apartments and associated communal facilities, amenity spaces, access and car

parking and new pedestrian access'. The apartments will be spread across two, two and half and three storey buildings partly accessed by linking walkways and partly by new paved footways.



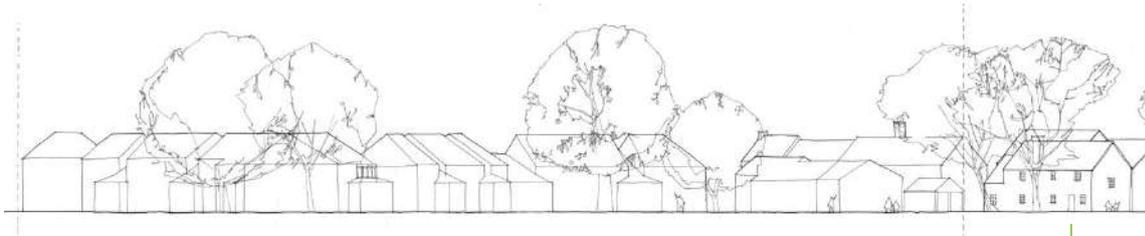
Current site plan (based on Pentan Architects drawing no: 3814-PEN-ZZ-ZZ-DR-A-1001/S4/P1)



Proposed site plan (taken from Pentan Architects Design and Access Statement)

The proposed scheme aims to replicate the feel of the surrounding urban grain of Newlands and Church Row by creating a new street, walkway through the site with tall buildings, 'side streets' and a 'back lane' between the site and Newlands.

The proposed elevations are of the buildings apparently take cues from the surrounding architecture of the area such as modern projecting windows, various window sizes, prominent chimneys and stepped roof heights.



Sketched current elevation (taken from Pentan Architects Design and Access Statement)



Proposed elevation from south east (taken from Design and Access Statement (Pentan 2020))

5. Settings and Impacts

5.1. Settings

There are no listed buildings or scheduled monuments within the boundaries of the proposed development site. However, the grade II listed The Almonry (NHLE1104236; Plate 7) lies on the north eastern boundary. The grade II listed 17 Newlands (NHLE1104238) and 19 Newlands (NHLE1104239) both lie on the north western boundary (Plate 8). The Almonry is an early 16th century timber-framed building that was used as a guest house for Pershore Abbey prior to the Dissolution. 17 Newlands is an early 19th century brick house and 19 Newlands is mid to late 18th century of chequered red and blue brick.

Close to the proposed development site, around 100m away, lies the grade I listed Abbey Church of Holy Cross with St Edburgha (NHLE1387027; Plate 6). This lies adjacent to the scheduled monument of Pershore Abbey (NHLE1005303). The Abbey Church is the last surviving building of the Benedictine Abbey that was preceded by a Saxon monastery. Excavations have shown that remains of the abbey and its predecessors exist below ground.

Part of the proposed development area also sits within Pershore Conservation Area. The Conservation Area Appraisal shows that the area of the lies within what was both the Saxon and medieval abbey precinct and partly within the Saxon settlement area (WCC 2007, p17). This is defined as an area of 'narrow roads lined by terraces and small individual houses sitting tight against each other' and would have been an area of workers' cottages, workshops and inns. The Appraisal states that the earlier settlement origins of the area are still evident in the layout of the narrow road

roads, the small narrow lineated plots, tightly packed buildings, and occasional timber-framed buildings.



Plate 7 The Almonry from the east. Almonry Close lies behind this building



Plate 8 19 Newlands, in centre with bay windows, and 17 Newlands to left it. Almonry Close lies behind these buildings

The proposed development area also contains two mid to late 19th century buildings that, whilst not designated assets such as those mentioned above, are historic buildings and are therefore undesignated heritage assets. One of the buildings relates to work carried out on the back plot of 19

Newlands (Plate 3) whilst the other appears to have had a number of uses including as a mortuary (Plate 4).

5.2. Impacts

In dealing with the impacts of the proposals, government guidance, as shown in the table given in Appendix I (Section 8), should be referred to. This detail the meaning of each of the **highlighted** impacts. Recent judicial review has formalised the levels of harm that can be attributed to a heritage asset with regards to NPPF to only being Substantial Harm, Less than Substantial Harm and No Harm. (James Hall v City of Bradford, 2019).

It must be clearly understood that both **substantial** and **less than substantial** harm, do constitute harm to, or to the setting of a designated heritage asset.

Review of submitted Heritage Statement in support of application

In the submission documents seen to date, there has been no direct acknowledgement or description of the harm, whether significant or less than significant, that the proposed development will cause to the Pershore Conservation Area and nearby listed buildings. To enable the planning committee to properly gauge any impact it is essential that any harm is clearly described.

The Orion Heritage Statement does reference the ‘Good Practice Advice Notes 3’ (EH 2017) stage process for assessing the implications of proposed development effecting setting. However, it is not considered that stage 3 has been fulfilled sufficiently as it does not acknowledge or describe any harm, only subjective opinion on the scheme’s merits.

In particular the Orion Heritage Statement consistently uses passive terminology, such as ‘it is unlikely to impact on the setting of the heritage asset’ (para 4.9), ‘The proposed largely single storey café structure which steps down and at its eastern end, is such that it will not be overly evident in this context’ (para 4.10), ‘In this context, the single storey café structure will not be overly apparent’ (para 4.12), ‘The setting of the Pershore Conservation Area, which is partially occupies the western part of the application site and adjoins it in the north and east is unlikely to be visually impacted by the proposal’ (para 5.5). These statements imply that there will be some harm but fail to state clearly what the harm entails. A development of this scale will have some impact on the setting of both the Conservation Area and the grade II listed The Almonry, 17 and 19 Newlands and non-designated heritage assets.

Indeed, the only point at which harm, as defined in NPPF, is stated is with reference to the non-designated mortuary building, ‘While there will be some harm associated with its loss, this is deemed to be less than substantial harm (at the lower end of the scale’ (para 5.6). It also states that this would be outweighed by the public benefits associated with the proposed development. Given this is a Heritage Statement which purpose is to present information upon which the planning committee can make an informed decision, it is not appropriate to state such comments. With regards to the designated heritage assets impacted by the proposed development, no such description of harm is presented in the report. The report does acknowledge that while predominantly outside the Conservation Area, the proposed development is located on the boundary in a very prominent position facing onto the Pershore Conservation Area where there are open views into Abbey Park and the grade I listed Abbey Church.

Darbourne and Darke 1970s buildings

The current buildings on Almonry Close were designed by renowned architects Darbourne and Darke and were built at the end of the 1970s with them first being shown on an Ordnance Survey map of 1980. Geoffrey Darke was a local architect and the team of Darbourne and Darke were famous for their work on public housing.

The proposals are to demolish the current buildings and replace them with more units and taller buildings. Whilst the demolition would have an impact on the Darbourne and Darke buildings, there would be **no harm** to any of the identified designated assets. The demolition of the buildings would have an impact on sustainability and the environment. The buildings can be used, just not necessarily for the purpose required in the application, and were lived in until two years ago. Energy and materials were spent to construct the buildings and this would be lost by their demolition.

19th century buildings

The existing 19th century buildings within the proposed development area are in a derelict state and have not been assessed. It is believed that one of the buildings was used as a mortuary in the mid 20th century but its earlier use is unknown. The building to the rear of 19 Newlands was part of long range of structures that, from the mapping, appear to have been farm buildings. However, their use may have been related to the use of the back plot. In 1888 there were ten market gardeners trading on Newlands and the building may relate to this.

The proposals are to demolish these 19th buildings. This would cause **substantial harm** to the heritage assets. Removal of the buildings and replacement with taller and more dominating buildings would cause **less than substantial harm** to the setting of the listed 19 Newlands and the Conservation Area.

Designated heritage assets on Newlands



Plate 9 View towards Almonry Close (left), The Almonry (timber-framed building) and Newlands (right) from Abbey Park

17 and 19 Newlands and The Almonry are all grade II listed buildings and as such are designated heritage assets that also sit within the Pershore Conservation Area. Whilst the proposed development will have no direct impact upon the heritage assets of Newlands, there will be an impact upon the setting of the buildings.

The current structures of Almonry Close are, at the most, two storeys high which matches that of the surrounding buildings (Plate 9). Their scale and mass are appropriate for this area of Pershore. The proposed development will include two and a half and three storey buildings that will dwarf the lower buildings of Newlands and particularly The Almonry. The proposed elevation shown above gives some idea of this. A visual impact assessment (Pleydell Smithyman 2020) has been submitted as part of the application. A number of visualisations of the proposed site show the proposed elevations inserted into current photographs, although these images have been strategically selected to minimise the effects of the proposals. The proposed development would cause **less than substantial harm** to setting of the designated heritage assets of Newlands.

Designated heritage assets of Pershore Abbey

The Abbey Church of the Holy Cross with St Edburgha is a grade I listed building. This is the highest ranking of listed building and means that it has national significance. The building is the last surviving structure of the Benedictine abbey whose precinct covered the whole of Abbey Park and the proposed development area. Part of Abbey Park is also a scheduled monument as it consists of the buried remains of the abbey. The Abbey Church and Abbey Park all site within Pershore Conservation Area.

The proposed development will not have a direct impact upon the Abbey Church or the buried remains. However, the setting of the building will be affected by the raised heights of the new buildings. Views from the Abbey Church to Almonry Close will show a change to the skyline and the profile of the buildings with three storey buildings dominating. Views towards the Abbey from the site will be affected with first and second floor walkways cutting across the view of the tower. The proposed development will cause **less than substantial harm** to the setting of the Abbey Church listed building.

Pershore Conservation Area

Pershore Conservation encompasses a large area that covers most of the town centre of Pershore. It has been divided into distinct areas based upon the distinct areas of style or development. The



Example view through proposed site taken from Design and Access Statement (Pentan 2020)

areas of interest regarding the proposed development are the 'Abbey Precinct' and the 'Saxon settlement area and Newlands'. The Abbey Precinct is described as a quiet area of space. It contains the Abbey Church and The Almonry. The 'Saxon settlement area and Newlands' is the residential and former market area of the original Saxon settlement outside the abbey precinct with medieval expansion into Newlands. It is described as having a compact plan with a prevalence of buildings of common scale.

The Conservation Area Appraisal (WDC 2007) has recognised 3 to 15 (odd) Newlands as unlisted buildings of local interest. The boundaries between them are recognised as important boundary features. The boundary that runs between 15 and 17 Newlands and out to the rear of Almonry Close has also been recognised as important boundary feature. Whilst this boundary does not consist of historic fabric (Plate 10), it is an historic feature that has survived from the medieval period until the present today. As part of the proposed development this boundary will be removed with walkways and buildings that will break the current line of the tenement plots. This will cause **less than substantial harm** to the heritage asset and to the setting within the Conservation Area.

6. Comments, Recommendations and Mitigation

With regards to NPPF the following sections apply in this instance:

193. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.

194. Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:

a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional;

b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional*

169. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

It is clear that the current proposals by virtue of their increased mass and height will cause harm to the Conservation Area and adjacent Grade II listed building. The current buildings on site are regarded as providing a neutral contribution to the setting of the Conservation Area, whereas the proposed development will result in harm, all be it less than substantial, to the setting of the Conservation Area and adjacent listed building.

7. Bibliography

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8. Appendix I: Table of Impact Assessment Criteria

The NPPF (NPPF 2019) policy on harm to heritage assets is set out in paragraphs 193 to 202. The impact assessment table below has been produced with reference to these policies and guidance. The coloured columns refer to the James Hall v City of Bradford judicial review.

Major Improvement	No Harm	Demonstrable improvement to a designated heritage asset of the highest order (or its setting), or non-designated asset (or its setting) of interest of demonstrable significance equal to that of a scheduled monument. Designated assets will include scheduled monuments, grade I/II* listed buildings, grade I/II* registered parks and gardens, registered battlefields, protected wrecks or World Heritage Sites. Improvement may be in the asset's management, its amenity value, setting, or documentation (for instance enhancing its research value). It may also be in better revealing a World Heritage Site or Conservation Area
Improvement	No Harm	Demonstrable improvement to a designated heritage asset (or its setting), or non-designated asset (or its setting) of interest such that the level of improvement will demonstrably have a minor effect on the area and its heritage resource, either at a local or regional level. For instance, grade II listed buildings, Conservation Areas and undesignated heritage assets important at a sub-national level. Improvement may be in the asset's management, its amenity value, setting, or documentation (for instance enhancing its research value).
Neutral	No Harm	Impacts that have no long-term effect on any heritage asset.
Minor Harm	Less than Substantial Harm	Minor harm to a designated heritage asset (or its setting), or non-designated asset (or its setting) of interest such that the level of harm will demonstrably have a minor effect on the area and its heritage resource, either at a local or regional level. For instance, grade II listed buildings, Conservation Areas and undesignated heritage assets important at a sub-national level.
Moderate Harm	Less than Substantial Harm	Minor harm to a designated heritage asset (or its setting) of the highest significance or non-designated asset (or its setting) of interest of demonstrable significance equal to that of a scheduled monument. For instance, scheduled monuments, grade I/II* listed buildings, grade I/II* registered parks and gardens, registered battlefields, protected wrecks or World Heritage Sites. Harm to a designated heritage asset (or its setting), or non-designated asset (or its setting) of interest such that the level of harm will demonstrably affect the area and its heritage resource, either at a local or regional level. For instance, grade II listed buildings, Conservation Areas and undesignated heritage assets important at a sub-national level.

Major Harm	Substantial Harm	<p>Harm to a designated heritage asset (or its setting) of the highest significance, or non-designated asset (or its setting) of interest of demonstrable significance equal to that of a scheduled monument. For instance, scheduled monuments, grade I/II* listed buildings, grade I/II* registered parks and gardens, registered battlefields, protected wrecks, World Heritage Sites or harm to a building or other element that makes a positive contribution to the significance of a Conservation Area as a whole.</p> <p>Substantial harm to, or loss of, a designated heritage asset (or its setting), or non-designated asset (or its setting) of interest such that the level of harm or loss will demonstrably affect the area and its heritage resource, either at a local or regional level. For instance, grade II listed buildings, Conservation Areas and undesignated heritage assets important at a sub-national level.</p>
Substantial Harm	Substantial Harm	<p>Substantial harm to, or loss of, a designated heritage asset (or its setting) of the highest significance, or non-designated asset (or its setting) of interest of demonstrable significance equal to that of a scheduled monument. For instance, scheduled monuments, grade I/II* listed buildings, grade I/II* registered parks and gardens, registered battlefields, protected wrecks, World Heritage Sites or the loss of a building or other element that makes a positive contribution to the significance of a Conservation Area as a whole</p>
Unknown		<p>Where there is insufficient information to determine either significance or impact for any heritage asset, or where a heritage asset is likely to exist but this has not been established, or where there is insufficient evidence for the absence of a heritage asset. For instance, where further information will enable the planning authority to make an informed decision.</p>